

DRAINAGE EVALUATION

FOR

**FOX RUN REGIONAL PARK POND AND GAZEBO
RENOVATION**

Prepared for:
El Paso County
Parks and Community Services Department
3275 Akers Drive
Colorado Springs, CO 80922



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
(719) 575-0100
fax (719) 572-0208

May 2025

Project No. 24.237.008

Design Engineer's Statement:

The attached drainage plan and report were prepared under my direction and supervision and are correct to the best of my knowledge and belief. Said drainage report has been prepared according to the criteria established by the County for drainage reports and said report is in conformity with the applicable master plan of the drainage basin. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparing this report.

Corey Petersen
Registered Professional Engineer
State of Colorado
No. 56571

05/21/2025

Date



El Paso County:

Filed in accordance with the requirements of the Drainage Criteria Manual, Volumes 1 and 2, El Paso County Engineering Criteria Manual and Land Development Code as amended.

Joshua Palmer, P.E.
County Engineer

5/22/25

Date

Conditions:

I. Introduction

Fox Run Regional Park is located near the intersection of Baptist Road and Roller Coaster Road within the City of Colorado Springs. Baptist Road borders the north and the west sides of the park, Stella Drive to the south and Roller Coaster Road to the east. The regional park is surrounded by residential development. Central to the park are the existing Aspen Lake and Spruce Lake.

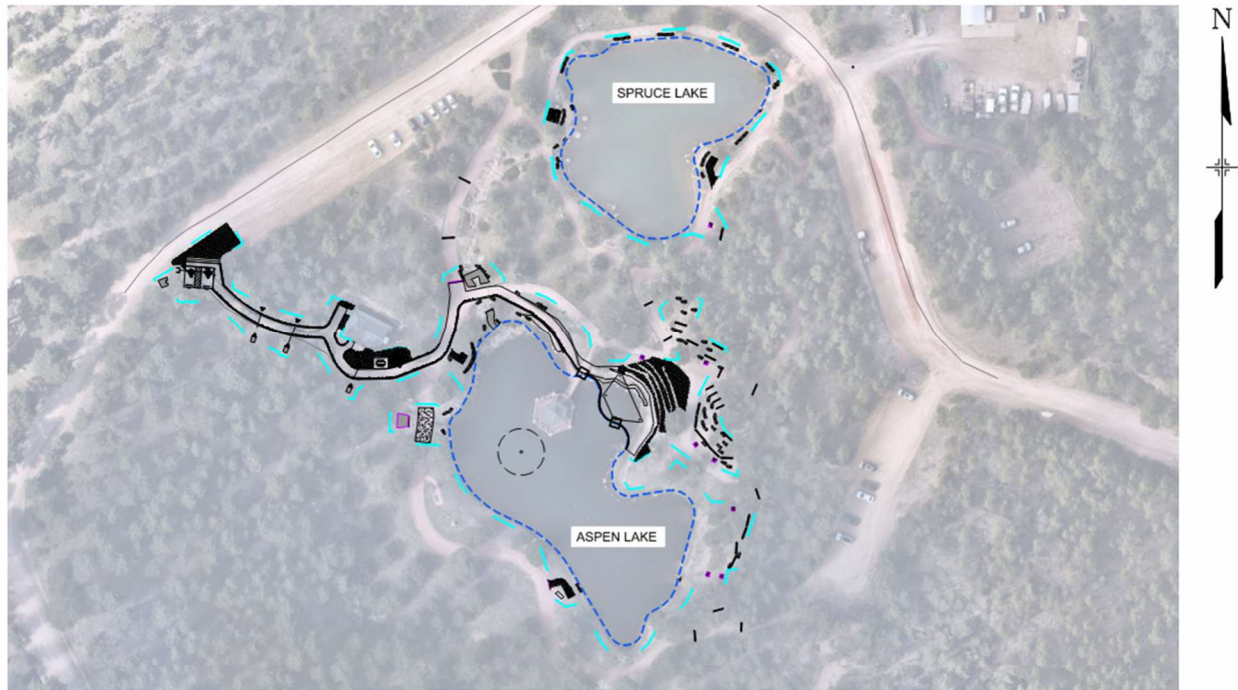
Aspen Lake and Spruce Lake are existing retention ponds within the regional park. The existing ponds are not classified as historic. This drainage evaluation accompanies the Fox Regional Park Pond and Gazebo Renovation improvements that include rehabilitation of the existing retention ponds as an El Paso County small capital project. Proposed improvements include dredging the existing pond of sediment and debris to the appropriate depth for a retention pond, repair the retention pond system to retain water and fill the pond to a predetermined water surface level, re-vegetate within and around the pond, create pedestrian paths around the pond and aesthetic appeal within and around the lake. Pedestrian paths include crusher fine trail, concrete walkway, and crusher fine overlooks into the pond. Aspen Lake contains an existing gazebo within that pond that will be removed and replaced with a new gazebo adjacent to the shoreline with an ADA path from the western parking area to the gazebo. The pond will be lined with a 45-millimeter reinforced polyethylene liner with a minimum 1-foot of top-soil over the liner.

The purpose of the provided Drainage Evaluation is to provide information on the proposed work and assurances that all improvements remain within guidelines of the El Paso County Drainage Criteria Manual for capital improvements. Proposed improvements limit construction to approximately 0.82 acres. Limits of disturbance acreage does not include pond rehabilitation construction. Pond rehabilitation is not considered in the limits of disturbance calculation and is classified separately because it is considered a maintenance activity. Approximately 0.15 acres of impervious area will be added around Aspen Lake for pedestrian walkway and gathering area, most of which is drained into and retained by the pond, thereby having no impact on the surrounding drainage systems. Impervious areas that do not drain into the pond are minimal, sheet flow into vegetated area and do not negatively impact the surrounding area.

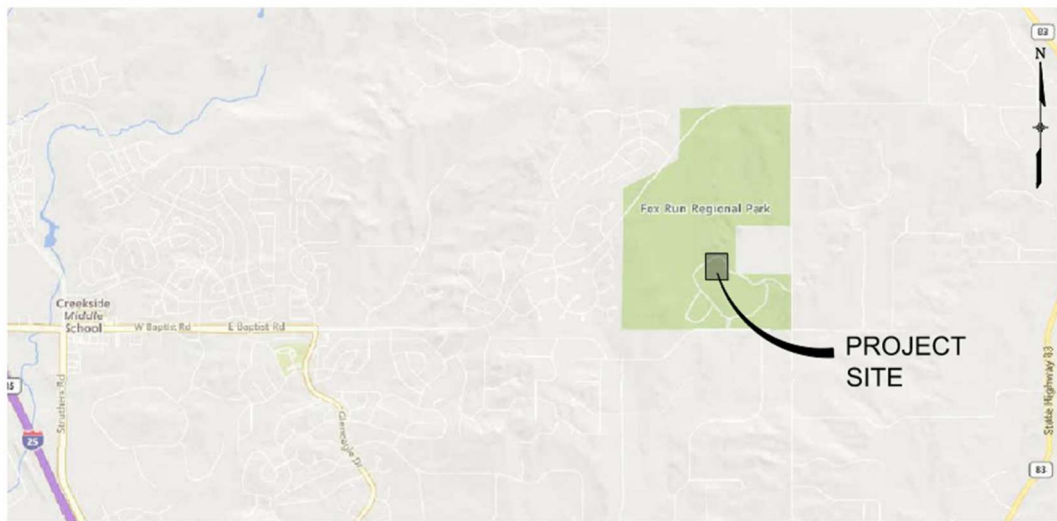
Proposed improvements result in less than an acre of disturbance. El Paso County's four step process has been implemented for the project.

1. Landscape buffer between impervious area and the pond is provided. Buffers include sod and landscaping.
2. The existing historic ponds to be rehabilitated are permanent retention ponds and do not release water, do not contain a designed/controlled spillway and will be permanently filled with well water from a County owned well. Water quality is not required with proposed improvements less than one-acre of disturbance. Proposed improvements are not a part of a larger overall plan of development.
3. There is no proposed release into adjacent waterways. Channel stabilization is not anticipated to be required.
4. Source controls are defined with the limits of the retention ponds. The pond will continually hold water without release. Any stormwater tributary to the ponds will remain and be treated within the pond without release.

This report demonstrates that the proposed improvements associated with Fox Run Regional Park Pond and Gazebo Renovation is in conformance with the El Paso County Drainage Criteria Manual. These proposed improvements will not adversely affect downstream or surrounding developments and are in conformance with the pertinent studies and criteria for the area.



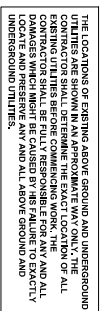
SITE MAP:
1" = 80'



VICINITY MAP
N.T.S.

Figure 1- Vicinity Map

SITE MAP

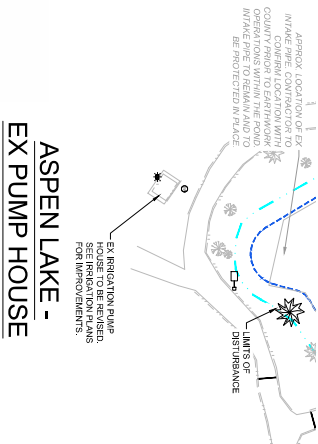
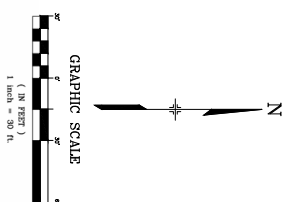


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Know what's below.
Call before you dig.

- GENERAL NOTES:
1. REFERENCE LANDSCAPING SHEETS FOR LANDSCAPING AND MATERIAL DETAILS.
2. REFERENCE HORIZONTAL CONTROL PLAN FOR LOCATION OF IMPROVEMENTS.
3. SEE DETAIL SHEET DT01 FOR WALL DETAILS.
4. SEE DETAIL SHEET DT02 FOR AREA DRAIN DETAIL.

LEGEND

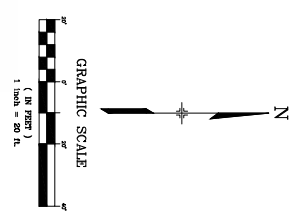
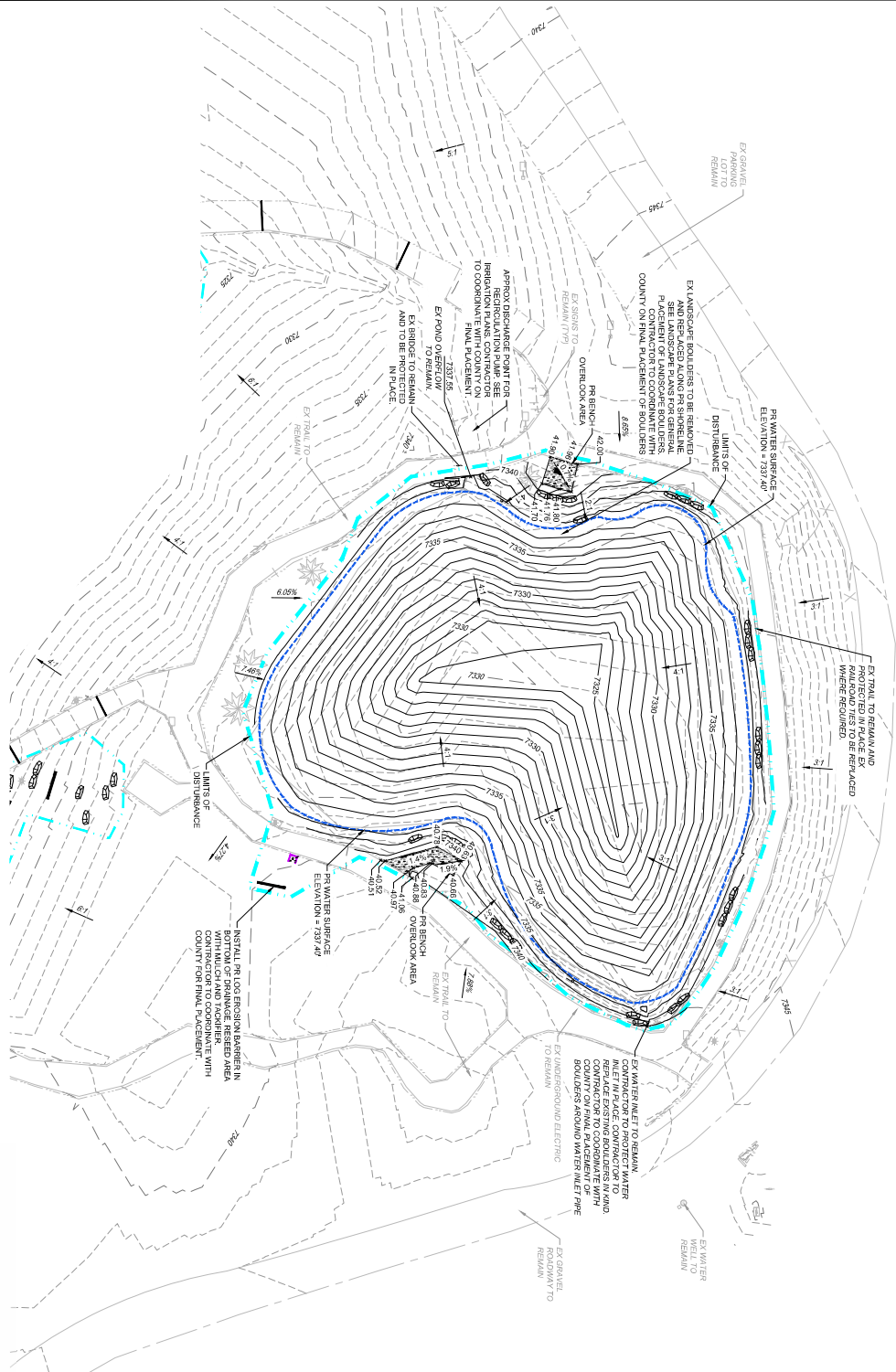
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ASPEN LAKE -
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THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.



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| REFERENCE | | DRAWINGS | | SHEET NO. | | SHEET TOTAL | | DATE | | BY | |
| COMPUTER FILE MANAGEMENT | | FILE NAME: 3/24/23_206 Fox Run Regional Park Pond and Gazebos Renovation | | FILE DATE: May 12, 2023 2:12:18 PM | | FILE PATH: C:\Users\jcm\OneDrive\Documents\3/24/23_206 Fox Run Regional Park Pond and Gazebos Renovation | | FILE SIZE: 1,000,000 bytes | | FILE TYPE: DWG | |
| REVISIONS | | DESCRIPTION | | DATE | | BY | | DATE | | BY | |
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| 2 | | Final Design | | 05/12/2023 | | jcm | | 05/12/2023 | | jcm | |
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