

**RFP 23-070:
ENGINEERING AND DESIGN SERVICES FOR
THE COLORADO CENTRE DRAINAGE
IMPROVEMENTS PROJECT**

**Pre-Proposal Meeting
June 7, 2023
3:00 PM**

**El Paso County Department of Public Works
3275 Akers Drive
Colorado Springs, CO 80922
719-520-6460**

PROJECT TEAM

■ Procurement:

- Becky Schaffstein, Lead Procurement Specialist
 - BeckySchaffstein@elpasoco.com
 - 719-520-6392

■ Engineering:

- John Andrews
- Randy Hergenrether, P.E.

FUNDING SOURCE

- ARPA - Federal
- El Paso County



- No CDOT Oversight
- No Davis-Bacon Requirements
- El Paso County Oversight – Potential Federal audit

TIMELINE

Activity	Deadline
Pre-Proposal Conference	3:00 PM, Wednesday, June 7, 2023
Final RFP Questions Due	3:00 PM, Friday, June 9, 2023
Proposal Due Date	3:00 PM, Wednesday, June 21, 2023
Proposal Review / Consultant Interviews	June 22nd through June 29th, 2023
Issue Notice of Intent to Award	July 5th through July 11th, 2023
Anticipated Start Date	July/August 2023

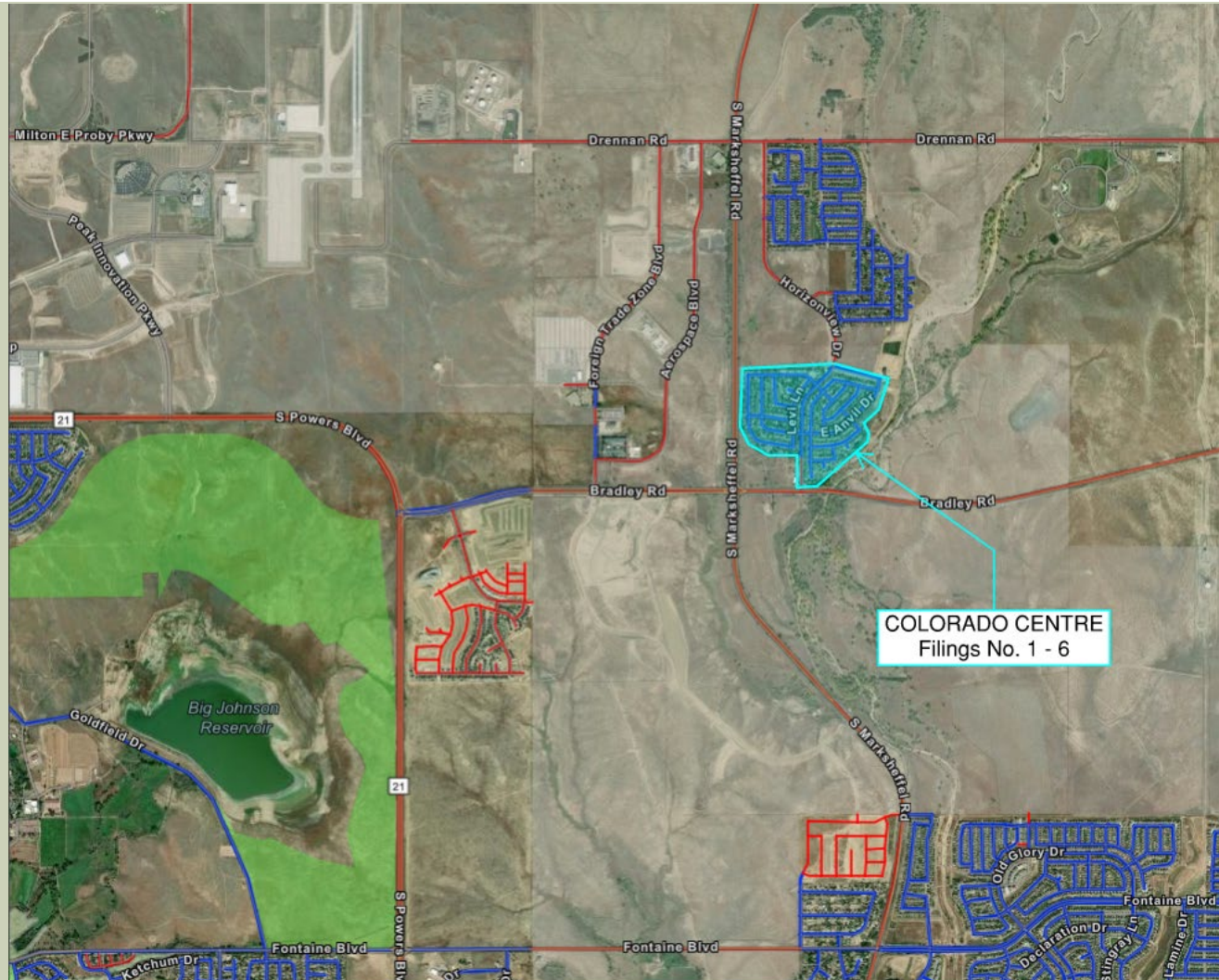
PROJECT LOCATION

Colorado Centre Development

Bounded by Bradley Rd (S),
Flagstone St (N)

Development comprised of 6
filings, Colorado Centre No. 1-6

Mixture of El Paso County and
City of Colorado Springs ROW



PROJECT DETAILS

■ Colorado Centre Background:

- 190 Acre Development constituting 4.2 miles County maintained roads, 500+ private parcels
 - 50-60' County ROW, urban local classification
- Mixture of street flow and underground storm systems control drainage through site
- Expansive soils identified throughout site, varying conditions throughout East & West portions of development
 - Geotech Report provided with advertisement

PROJECT SCOPE

- **Drainage Study and Analysis – Hyrdology, MS4 Criteria, Permitting**
 - FEMA No Rise
- **Geotechnical Study and Analysis – Field exploration and Subsurface Investigation**
- **Design Survey – Topographic, Survey Control, Utility locates**
- **Alternative Analysis – Findings memos/reports, development of project criteria, scoping & estimates**
- **Property Acquisition – Permission to Enter (PTE), Property Impacts, Acquisitions**
- **Preliminary and Final Engineering Design**
 - 30% Combined with Alternative Analysis
 - 60% (FIR) Schedule, Phasing, Erosion Control (ESQCP), Estimates
 - Final Design (FOR to BID)

PROJECT TIMELINE

- Design: July/August 2023 – December 31, 2024
 - 2023:
 - Survey, Investigations, Studies
 - Alternative Analysis
 - Preliminary Design
 - 2024:
 - 60% Design, Property Acquisition
 - Final Design, Permitting
- ARPA deadlines



S Marksheffel Rd
S Marksheffel Rd

S Marksheffel Rd
S Marksheffel Rd

Wiley Rd

Chieftan Dr

Granger Ln

Bramble Ln

Bradley Rd

Horizonpoint Dr

Anvil Dr

Anvil Dr

Bradley Rd

Levi Ln

Levi Ln

Horizonview Dr

Bradley Rd

Horizonview Dr

E Anvil Dr

Bradley Rd

Gunbarrel Dr

E Anvil Dr

Pony Gulch Way

Bradley Rd

Flagstone St

Bradley Rd

Settlement Way

Settlement Way

Pony Gulch Way

Bradley Rd

Yukon Way

Yukon Way

Pony Gulch Way

Bradley Rd

Prairie Fox Ln

E Anvil Dr

Bradley Rd

E Anvil Dr

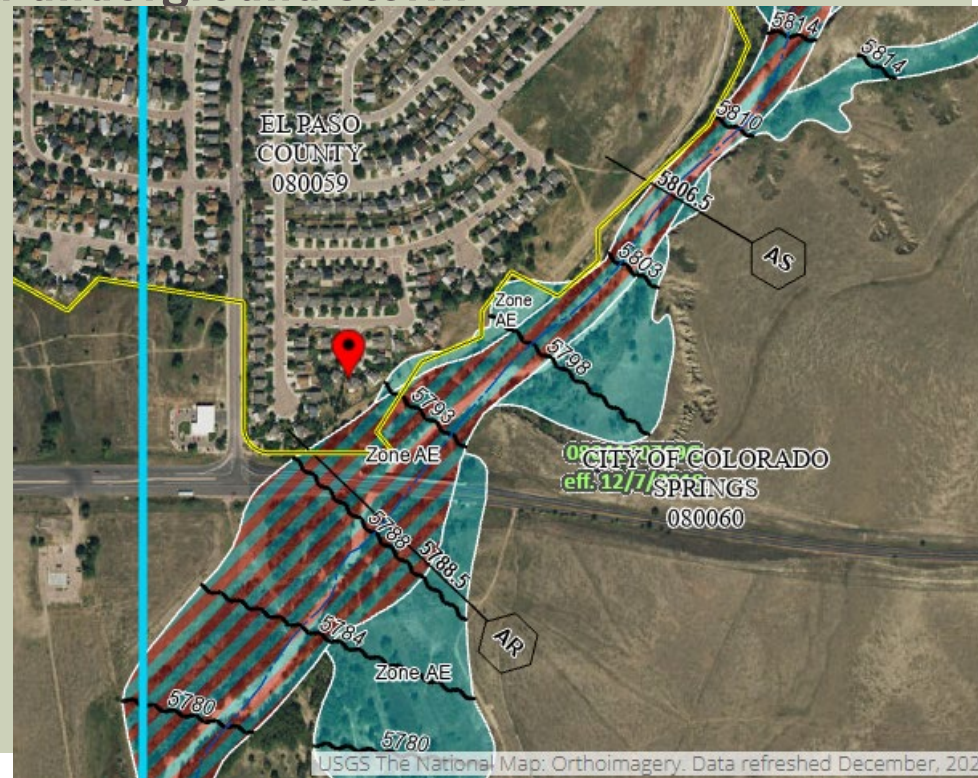
E Anvil Dr

Bradley Rd

PROJECT DETAILS

■ Drainage:

- North half of development primarily street flow
 - Mountable curb and crosspans throughout site
- South half mixture of street and underground storm
 - All outlets are on south side of development
 - East – Outfall into Jimmy Camp Creek (FEMA Zone AE Floodplain)
 - West – Outfall to City of Colorado Springs ROW (Marksheffel & Bradley)
- FEMA No-Rise Potential





Widefield
School
District No 3

Colorado
Centre
Metropolitan

City of
Colorado
Springs

S M
S Ma

S Marksheffel Rd
S Marksheffel Rd

ley Rd

Bradley Rd

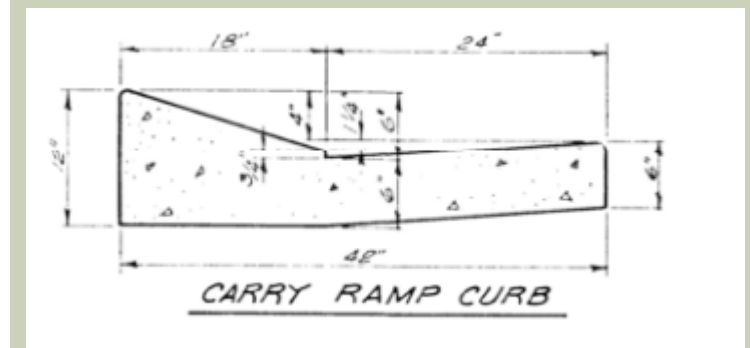
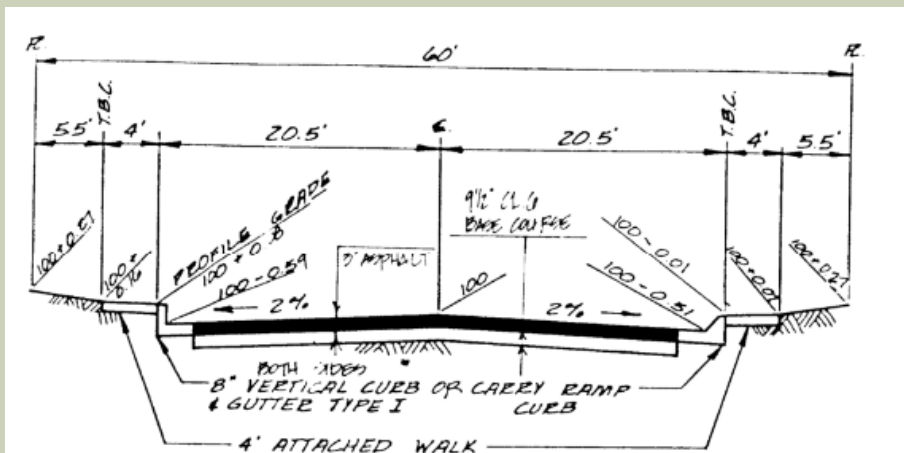
Bradley Rd

Bradley Rd

PROJECT DETAILS II

■ Roadway

- Urban local classified roadway with attached 4' sidewalk
 - Typical section 35' HMA, 7' curb/shoulder, 8' sidewalk
 - Mixture of mountable/ramp curb (IIM) and Type 2 (IIB)
- ~500 access points throughout development, varying connections due to differences in Filing's overlot grading, min 2%, max 10+%
- Roads within West half of development have experienced raveling assumed to result from settlement and expansive subgrade.



PROPERTY ACQUISITION/ACCESS

- **Permission to Enter Property (PTE) will be required prior to investigative work & survey.**
- **Access to all residential and commercial properties to be maintained, some additional coordination required:**
 - **Colorado Centre Metropolitan District**
 - **Widefield School District No. 3**
- **Appraisals not anticipated, consultant shall perform negotiations with all affected property owners.**

UTILITIES

- **Expected Conflicts:**
 - Colorado Centre Metropolitan
 - Water and Sanitary throughout all 6 filings
- **Contactors to coordinate with all other utility companies as necessary**
 - Potholing will be required, assumption of 60 potholes
 - 811 coordination required
 - SUE Quality Level A expected for Final Design

GENERAL NOTES

- Drainage is key factor of design, but roadway analysis is necessary component due to findings of geotechnical report and existing condition.
- Phasing and Traffic Control plans will be included in final design, but shall be informational in nature.
 - Access to Horizonview Drive shall be maintained at all times
- Schedule & timeline coordination will be affected by ARPA deadlines.

QUESTIONS

