

GENERAL NOTES

- GENERAL
- CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS SHALL REVIEW AND VERIFY ALL NOTES, DIMENSIONS AND INFORMATION ON THESE DRAWINGS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES, OMISSIONS OR CHANGES TO THE ARCHITECT. IF ERRORS, OMISSIONS, OR QUESTIONS REGARDING THE DRAWINGS BECOME EVIDENT OR ARE SUSPECTED, THE ITEM SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH WORK. FAILURE TO DO SO SHALL RELIEVE THE ARCHITECT OF ANY LIABILITIES FOR ERRORS OR OMISSIONS IN THE PLANS.
 - THE CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK. ANY DISCREPANCIES FROM THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH WORK.
 - ALL WORK IS TO BE PERFORMED IN A THOROUGH AND GOOD WORKMANSHIP-LIKE MANNER BY SKILLED WORKERS IN CONFORMANCE WITH THE BEST STANDARDS OR PRACTICES IN THE TRADE.
 - ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, ORDINANCES, RULES AND REGULATIONS.
 - THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY AND SAFE MANNER. DEBRIS SHALL BE PLACED IN TRASH RECEPTACLES OR BINS. FENCE OFF OPEN TRENCHES OR OTHER HAZARDS FROM TRESPASSERS. STORE VALUABLE MATERIALS, TOOLS, SUPPLIES OR APPLIANCES IN A LOCKED SPACE. CONFORM WITH BUILDING MANAGEMENT REGULATIONS FOR NOISE CONTROL, CLEAN-UP AND SITE CONDITIONS.
 - ALL FEDERAL AND STATE SAFETY AND OSHA REGULATIONS SHALL BE ENFORCED FOR ALL WORK, EQUIPMENT AND CONSTRUCTION METHODS.
 - IF ASBESTOS OR ASBESTOS-CONTAINING MATERIALS ARE ENCOUNTERED DURING DEMOLITION OR CONSTRUCTION, STOP WORK AND DO NOT DISTURB THOSE MATERIALS. NOTIFY OWNER AND ARCHITECT WHO WILL CONSULT WITH A LICENSED ASBESTOS ABATEMENT PROFESSIONAL TO PROPERLY REMOVE THE MATERIALS PRIOR TO PROCEEDING. LIMITED ASBESTOS TESTING PERFORMED BY OWNER.
 - PROVIDE TEMPORARY SHORING FOR THE EXISTING STRUCTURE DURING DEMOLITION UNTIL THE NEW SUPPORTING STRUCTURE IS IN PLACE.
 - LOCATE AND STAKE ALL EXISTING UNDERGROUND UTILITY LINES PRIOR TO EXCAVATION, TRENCHING OR DIGGING. REPLACE OR REPAIR ANY DAMAGE TO EXISTING LINES THAT MAY OCCUR.
 - FOR ADDITIONS AND REMODELS, HIDDEN CONDITIONS MAY EXIST AT THE TIME OF PREPARATION OF THE DRAWINGS. IF EXPOSURE OF THESE HIDDEN CONDITIONS RESULT IN CONFLICTS WITH THE DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING PRIOR TO PROCEEDING WITH ANY WORK.
 - ALL DIMENSIONS ARE FROM FACE OF NEW FRAMING, FACE OF EXISTING MASONRY, OR FACE OF FINISH ON EXISTING WALLS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
 - ALL GLASS WITHIN 18" OF FLOOR AND WITHIN A 24" ARC OF DOOR JAMBS TO BE TEMPERED GLASS. ALL GLASS WITHIN DOORS ALSO SHALL BE TEMPERED.
 - ALL SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED WITH BATTERY BACKUP.
 - ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED.
 - APPLICABLE CODES: ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE GOVERNING CODES AND APPLICABLE STANDARDS.
 - NOTE TO THE GENERAL CONTRACTOR/BUILDER/TRADES: CONTRACTOR IS RESPONSIBLE FOR: DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS WORK WITH THAT OF ALL OTHER TRADES; FURNISHING ALL ITEMS REQUIRED FOR THE PROPER EXECUTION, COMPLETION AND SATISFACTORY PERFORMANCE OF ALL WORK NECESSARY; INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE & PROPER FINISHED JOB. IN CASE OF ANY QUESTIONS OR NEED FOR FURTHER CLARIFICATION OF INFORMATION AND/OR DETAILS, CONTRACTOR SHOULD CONTACT THE ARCHITECT PRIOR TO FURTHER CONSTRUCTION OR FABRICATION OF ITEMS IN QUESTION. CONTRACTOR SHALL TAKE DIRECTION FROM DESIGNATED OWNER'S REPRESENTATIVE.
 - MATERIAL SELECTION: MANUFACTURER, MAKE, MODEL NUMBER, COLOR, ETC., OF FINISH MATERIALS, APPLIANCES, ETC., SHALL BE SELECTED BY THE OWNER REPRESENTATIVE AND/OR ARCHITECT.
 - SUBSTITUTIONS: NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE OWNER REP./ARCHITECT'S PRIOR WRITTEN APPROVAL.
 - GUARANTEE: THE ARCHITECT MAKES NO EXPRESSED OR IMPLIED GUARANTEE FOR PRODUCTS IDENTIFIED BY TRADE NAME OR MANUFACTURER.
 - JOB CLEAN UP: ALL TRADES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE AND/OR RUBBISH CAUSED BY THEIR WORK. ALL RUBBISH, TOOLS AND SURPLUS SUPPLIES AND MATERIALS SHALL BE REMOVED AT THE COMPLETION OF THE DAY'S WORK. LEAVE THE JOB IN A BROOM CLEAN CONDITION. PROVIDE DUST CONTROL DAILY.
 - DIMENSIONS: DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED. VERIFY ALL FRAMING DIMENSIONS AT CABINETS, ETC., TO INSURE PROPER FIT. ALL DIMENSIONS SHALL BE CONFIRMED AND CORRELATED BY THE CONTRACTOR AT THE JOB SITE. IN CASE OF ANY QUESTIONS, THE CONTRACTOR SHOULD NOTIFY THE ARCHITECT FOR FURTHER CLARIFICATION.
 - SHOP DRAWINGS & CONSULTANT'S DRAWINGS: REFER TO SHOP DRAWINGS AND CONSULTANT'S DRAWINGS FOR FURTHER PROJECT SCOPE AND COORDINATION REQUIREMENTS.
 - NEW WORK TO BLEND INTO EXISTING. FINISH TO NEAREST CORNER OR BREAK IN MATERIAL TYPE. PROVIDE J-STRIP AT EDGES OF GYP. BD. AGAINST DISSIMILAR MATERIALS. CAULK FOR NEAT APPEARANCE AND TO PREVENT WATER PENETRATION.

GOVERNING CODES

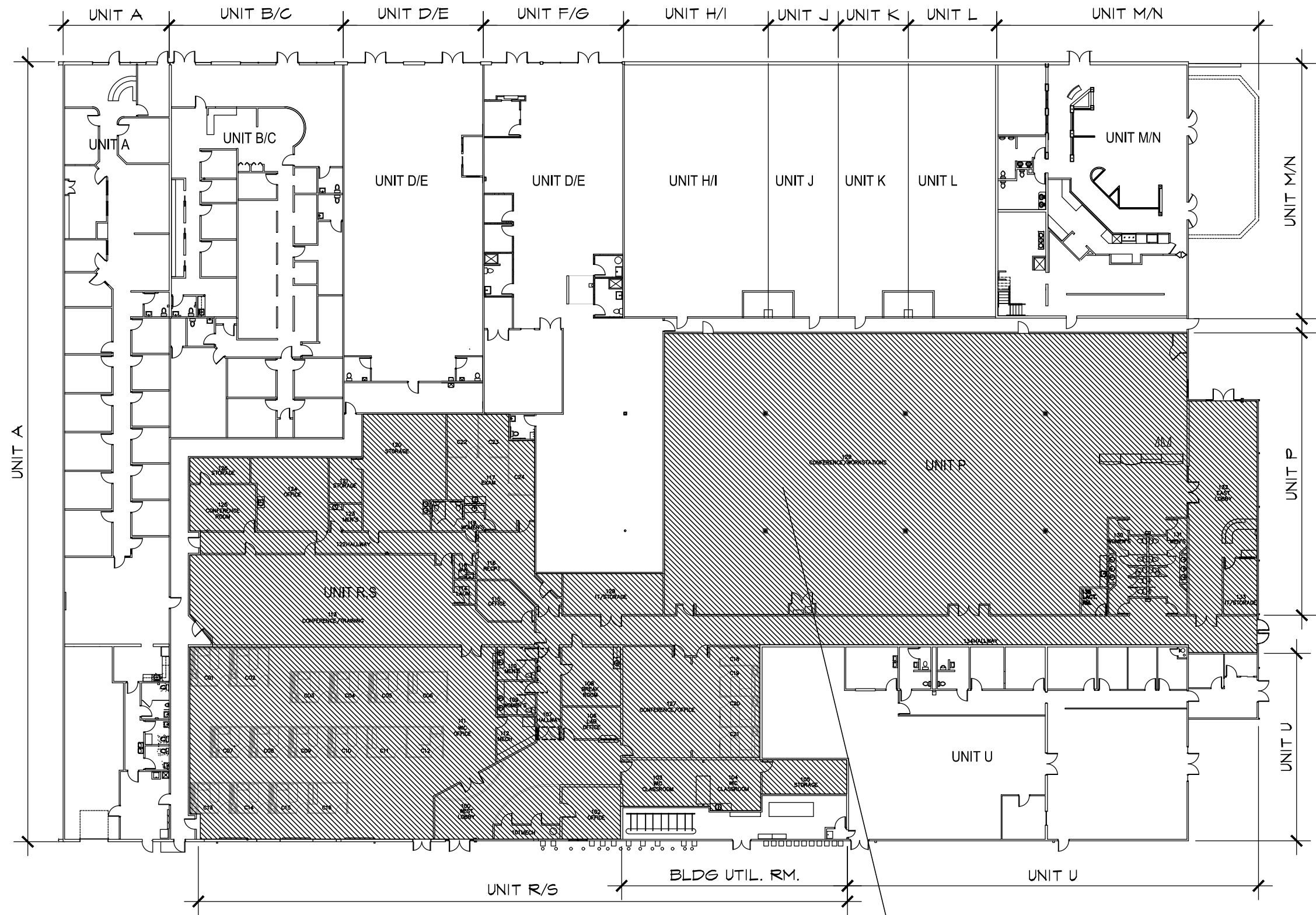
2017 Pikes Peak Regional Building Code
2015 International Building Code with amendments
2015 International Existing Building Code with amendments
2015 International Energy Conservation Code with amendments
2015 International Mechanical Code with amendments
2015 International Fuel Gas Code
2018 International Plumbing Code
2020 National Electrical Code/NFPA-70 with amendments
2015 International Fire Code
NFPA 13 Installation of Sprinkler Systems
NFPA 14 Installation of Standpipe, Private
NFPA 72 National Fire Alarm Code
NFPA 20 Installation of Fire Pumps
2009 ICC/ANSI A117.1 Accessibility Standard
2019 ASME A17.1 Safety Code for Elevators and Escalators
2005 ASME A17.3 Safety Code for Existing Elevators and Escalators
2017 Floodplain Regulation Amendments

PROJECT TEAM

OWNER REPRESENTATIVE:
EL PASO COUNTY
FACILITIES MANAGEMENT
325 S. CASCADE AVE.
COLORADO SPRINGS, CO 80903
PHONE: (719) 520-6575
JILL TRAVIS

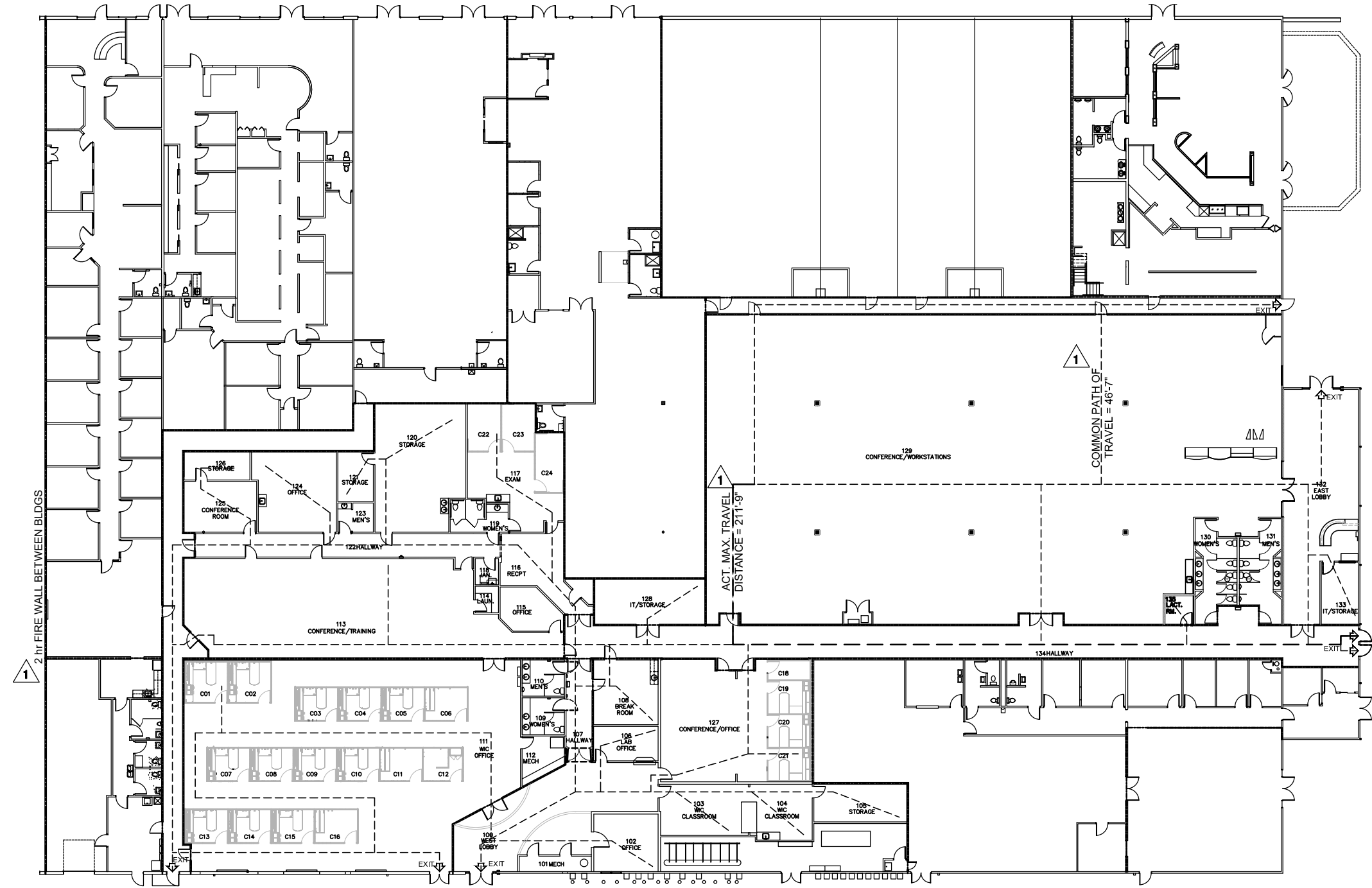
ARCHITECT:
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201 E. LAS ANIMAS STREET, STE. 113
COLORADO SPRINGS, CO 80903
PHONE: 719.623.5641
SHARON ALLEN
KJANG LI

MECHANICAL/PLUMBING/ELECTRICAL ENGINEER:
SI EC, INC.
2690 N. ACADEMY BLVD., STE 101
COLORADO SPRINGS, CO 80903
PHONE: 719.368.7344
AARON SPRINGFIELD



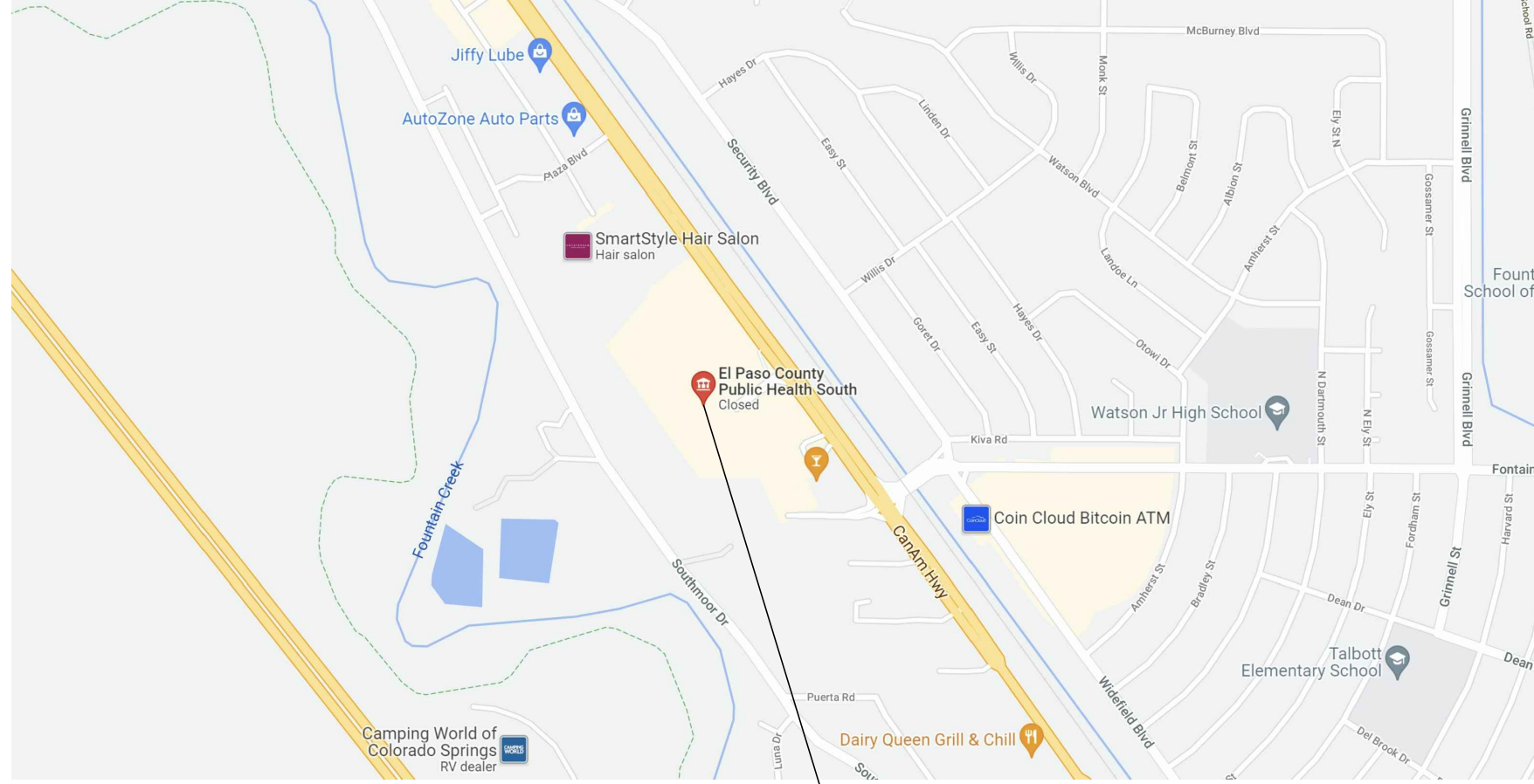
TENANT ADDRESS AND SCOPE REFERENCE PLAN

SCALE: 1/32" = 1' - 0"



LIFE SAFETY PLAN

SCALE: 1/32" = 1' - 0"



VICINITY MAP

NOT TO SCALE



PROJECT BLDG.
6436 S. US HWY 85 ST, Unit P.R.S.
FOUNTAIN, CO

PROJECT DATA

OWNER:
EL PASO COUNTY FACILITIES CORP.
200 S. CASCADE AVE.
S110
COLORADO SPRINGS, CO 80903

PROJECT ADDRESS:
PUBLIC HEALTH SOUTH
6436 S. US HWY 85 ST, Unit P.R.S.
FOUNTAIN, CO 80817

PROJECT DESCRIPTION:
THE PROJECT IS A INTERIOR REMODELING FOR ASSEMBLY, OFFICES.

ASSESSOR'S SCHEDULE NO.
6513314033

LEGAL DESCRIPTION:
CONDOMINIUM UNIT 3, IN THE MART CONDOMINIUMS IN ACCORDANCE WITH THE CONDOMINIUM DECLARATION RECORDED ON 10/28/2020, RECEPTION NO 220172458, AND THE CONDOMINIUM PLAT RECORDED ON 10/28/2020, RECEPTION NO 220601021, OF THE EL PASO COUNTY RECORDS

ZONING CLASSIFICATION:
-

EXISTING CONSTRUCTION TYPE:
II-B, SPRINKLERED

EXISTING BUILDING OCCUPANCY:
A-3, B, S-1

NUMBER OF STORIES:
1 STORY

EXISTING BUILDING HEIGHT:
EXISTING

EXISTING BUILDING AREA:
THIS SUITE 27,391 SF

AREA OF REMODEL: 27,391 SF
INTERIOR REMODEL FOR ASSEMBLY, OFFICE AND STORAGE

A-3, CONFERENCE	16,310 SF	1/15	1,088 OCC
B, OFFICE	9,426 SF	1/100	94 OCC
S-1, STORAGE	1,647 SF	1/300	6 OCC
			1,188 OCC

REMODEL DOES NOT CHANGE EXIT REQUIREMENTS.
REMODEL DOES NOT CHANGE FIRE REQUIREMENTS.
REMODEL DOES NOT CHANGE PLUMBING FIXTURE REQUIREMENTS.

SHEET INDEX

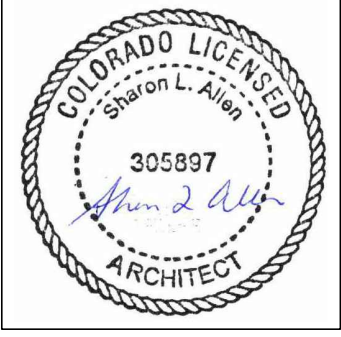
- C5 COVER SHEET, VICINITY MAP, PROJECT DATA AND SHEET INDEX
G0.1 EXISTING ALLOWABLE AREA REFERENCE SHEET
G0.2 ARCHITECTURAL SPECIFICATIONS
A1.1 PARTIAL DEMOLITION FLOOR PLAN - NORTH
A1.2 PARTIAL DEMOLITION FLOOR PLAN - SOUTH
A1.3 PARTIAL DEMOLITION REF. CLG. PLAN - NORTH
A1.4 PARTIAL DEMOLITION REF. CLG. PLAN - SOUTH
A1.5 PARTIAL CONSTRUCTION FLOOR PLAN - NORTH
A1.6 PARTIAL CONSTRUCTION FLOOR PLAN - SOUTH
A1.7 PARTIAL CONSTRUCTION REF. CLG. PLAN - NORTH
A1.8 PARTIAL CONSTRUCTION REF. CLG. PLAN - SOUTH
A1.9 PARTIAL FLOOR FINISH PLAN - NORTH
A1.10 PARTIAL FLOOR FINISH PLAN - SOUTH
A2.0 DOOR AND FINISH SCHEDULE & DETAILS
A5.0 DETAILS

- P-001 LEGEND, NOTES AND SPECIFICATIONS
PD-W-101.N NORTH WATER PIPING DEMOLITION PLAN
PD-W-101.S SOUTH WATER PIPING DEMOLITION PLAN
PD-S-101.N NORTH VENT AND WASTE DEMOLITION PLAN
PD-S-101.S SOUTH VENT AND WASTE DEMOLITION PLAN
P-W-101.N NORTH WATER PIPING NEW WORK PLAN
P-W-101.S SOUTH WATER PIPING NEW WORK PLAN
P-S-101.N NORTH VENT AND WASTE NEW WORK PLAN
P-S-101.S SOUTH VENT AND WASTE NEW WORK PLAN
P6-1 SCHEDULES AND CALCULATIONS

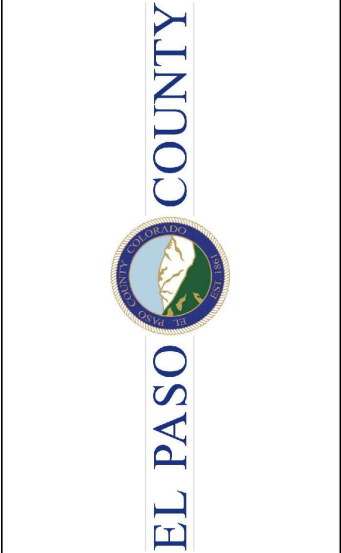
- M-001 LEGEND, NOTES AND SPECIFICATIONS
MD-H-101.N NORTH HVAC DEMOLITION PLAN
MD-H-101.S SOUTH HVAC DEMOLITION PLAN
MD-H-102.S SOUTH HVAC ROOF DEMOLITION PLAN
M-HG-101.N NORTH HVAC NEW WORK PLAN
M-HG-102.N NORTH HVAC ROOF NEW WORK PLAN
M-H-101.S SOUTH HVAC NEW WORK PLAN
M-HG-102.S SOUTH HVAC ROOF NEW WORK PLAN
M-501 DETAILS
M-601 SCHEDULES AND CALCULATIONS

- E-001 LEGEND, NOTES AND SPECIFICATIONS
ED-L-101.N NORTH LIGHTING DEMOLITION PLAN
ED-L-101.S SOUTH LIGHTING DEMOLITION PLAN
ED-P-101.N NORTH POWER DEMOLITION PLAN
ED-P-101.S SOUTH POWER DEMOLITION PLAN
ED-R-101.N NORTH ROOF DEMOLITION PLAN
ED-R-101.S SOUTH ROOF DEMOLITION PLAN
E-L-101.N NORTH LIGHTING NEW WORK PLAN
E-L-101.S SOUTH LIGHTING NEW WORK PLAN
E-P-101.N NORTH POWER NEW WORK PLAN
E-P-101.S SOUTH POWER NEW WORK PLAN
E-R-101.N NORTH ROOF NEW WORK PLAN
E-R-101.S SOUTH ROOF NEW WORK PLAN
E-602 PANEL SCHEDULES AND CALCULATIONS
E-603 PANEL SCHEDULES AND CALCULATIONS
ED-101.1 EXISTING SINGLE-LINE DIAGRAM
ED-101.2 EXISTING SINGLE-LINE DIAGRAM

REVISIONS		
DATE	FOR	
10-28-22	RBD Rev.	
11-14-22	RBD Rev.	



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EL PASO COUNTY
PUBLIC HEALTH SOUTH
INTERIOR REMODEL
6436 S. U.S. Hwy 85 St, Unit P.R.S.
FOUNTAIN, CO 80817

VICINITY MAP
PROJECT DATA
SHEET INDEX

DATE: 09-09-22
DRAWN BY: TDG
CHECKED BY: TDG
PROJECT NO: 21157
SHEET NO:

CS